



**BOCA GRANDE HISTORIC PRESERVATION BOARD
WOMAN'S CLUB ROOM
BOCA GRANDE COMMUNITY CENTER
131 FIRST STREET WEST, BOCA GRANDE, FL 33921**

**THURSDAY, MARCH 22, 2012
11:00 AM**

AGENDA

- 1. Call to Order/Roll Call/Review of Affidavit of Publication**
- 2. Election of Officers**
- 3. Approval of Minutes – November 2, 2011**
- 4. Public Hearing on a Special Certificate of Appropriateness (COA) case –**
(For public review, plans for the COA case are available at the Reference Library, Boca Grande Community Center, 131 First Street West, Boca Grande, starting March 6, 2012.)
Note: A summary of the zoning relief requests is provided for informational purposes only. The Lee County Zoning Division will make a determination after the Historic Preservation Board renders its decision.

A. COA2012-00022 - Coin 900 East Railroad Ave., Boca Grande, FL 33921
Proposed addition of roughly 265 sq ft to the south east area of the house.

Relief in the RM-2 (Residential Multi-family) zoning district from the Lee County Land Development Code as follows:

1. Relief from LDC Section 34-715 which requires the minimum required street setback of 25 feet on the west property line, to 21.54 feet to bring the existing single-family residence into compliance.
 2. Relief from LDC Section 34-715 which requires the minimum required street setback of 25 feet on the south property line, to 11.56 feet to bring the existing single-family residence into compliance.
 3. Relief from LDC Section 34-715 which requires the minimum required side setback of 7 feet on the north property line, to 4.3 feet to bring the existing single-family residence into compliance.
 4. Relief from LDC Section 34-715 which requires the minimum required rear setback of 20 feet on the east property line, to 10 feet for proposed addition.
- 5. Items by the Public; Committee Members; Staff**
 - 6. Adjournment – Next Meeting Date: to be determined**

Any person appealing a decision made at this hearing must ensure a record of the proceedings is made. In accordance with the Americans with Disabilities Act, Reasonable Accommodations will be made upon request. If you are in need of a Reasonable Accommodation or would like additional information, please contact Janet Miller at 533-8583. To receive agendas by e-mail, contact jmiller@leegov.com

LEE COUNTY HISTORIC PRESERVATION PROGRAM
SPECIAL CERTIFICATE OF APPROPRIATENESS (COA) APPLICATION

COA NO.: _____
DESIGNATION NO.: _____
DATE FILED: _____
DATE ISSUED: _____
APPROVED: _____
DENIED: _____

Lee County Division of Planning P.O. Box 398 Fort Myers, FL 33902
TELEPHONE: (239) 533-8585 / FAX: (239) 485-8319

<input type="checkbox"/> Contributing	<input type="checkbox"/> Non-Contributing	<input type="checkbox"/> Individual Designation	<input type="checkbox"/> Not Historical
---------------------------------------	-------------------------------------------	-------------------------------------------------	-----------------------------------------

Designation Number: HD 90 05 01
COA # COA 2012-00022
Name of Project: Coin
Location: 900 E. Railroad Ave Boca Grande Fl 33921
Strap No.: 14 43 20 01 00059 0050
Name of Applicant or Agent: RICHARD E. COIN NINA R. COIN
Address: 900 E RAILROAD AVE, PO BOX 1289
City/State: BOCA GRANDE, FL Zip Code: 33921 Phone: 941 964 2366
Fax: 941-955 9052 E-mail: COIN943@EARTHLINK.NET

Name of Historic District, if applicable, _____

- Check all that apply:
- Building
 - Archaeological Site
 - Object
 - Landscape Feature

Project Description: (describe all work proposed)

- Type of Work:
- Alteration
 - Demolition
 - New Construction
 - Reconstruction
 - Rehabilitation
 - Relocation

Narrative: _____

Change in Use: yes no

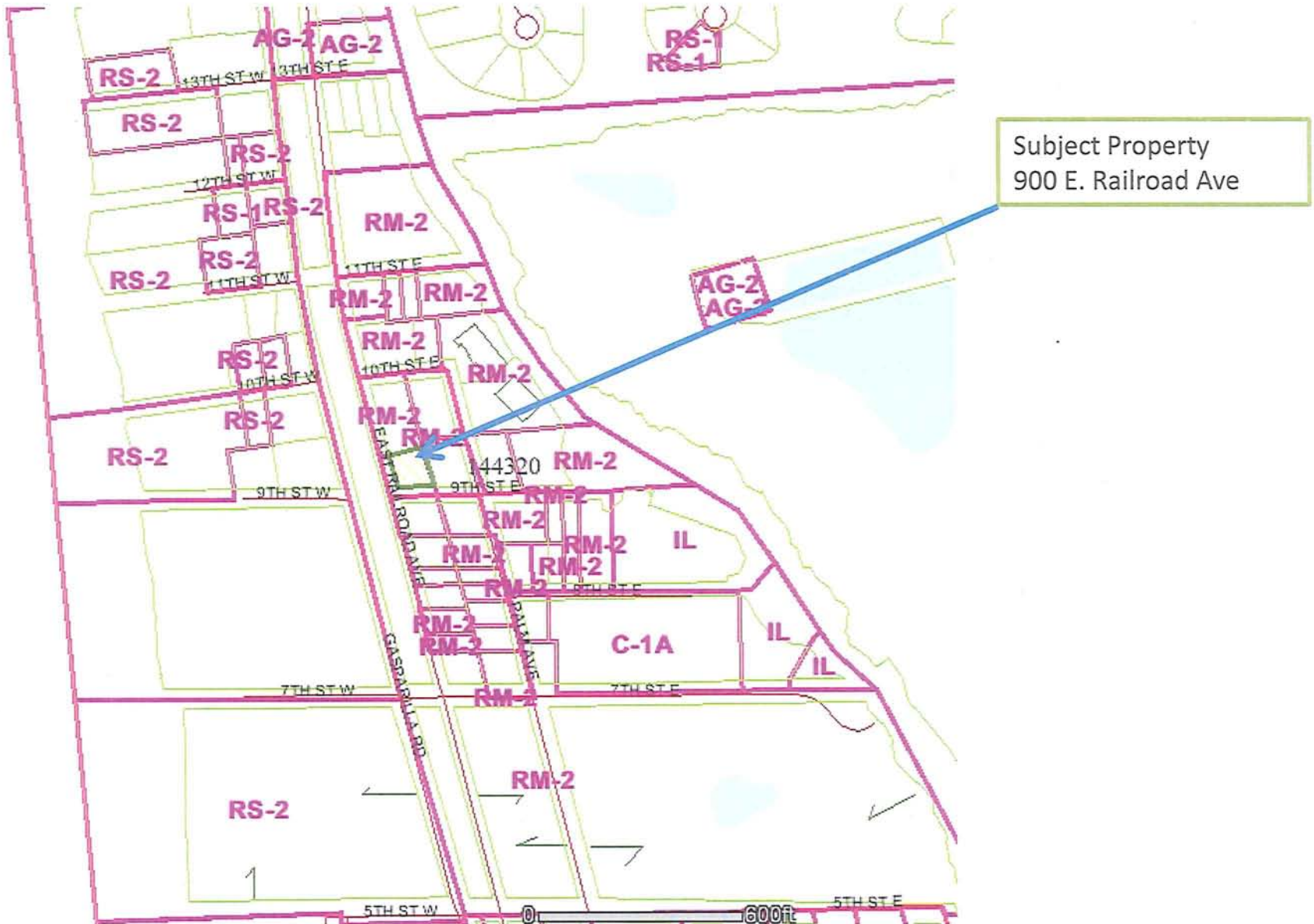
If yes, explain: _____

Does this use require a variance, special permit, or special exception under the Zoning Ordinance? yes no

If yes, explain: _____

Has a development order or exemption been applied for prior to or concurrent with this application? yes no

COA2012-00022, Coin, 900 E. Railroad Ave. Boca Grande, FL 33921 – 14-43-20-01-00059.0050



**BOCA GRANDE HISTORIC PRESERVATION BOARD
STAFF REPORT**

TYPE OF CASE: Special Certificate of Appropriateness

CASE NUMBER: COA 2012-00022 Coin 900 East Railroad Ave., Boca Grande Fl 33921

HEARING DATE: March 14, 2012

SUMMARY:

This proposal calls for a roughly 265 sq ft addition to an existing non-contributing, house in the Boca Grande Historic District HD (District) 90-05-01. The residence is located at 900 East Railroad Ave. Boca Grande FL 33921 (STRAP: 14 43 20 01 00059.0050); the lot is located at the northeast corner of E. Railroad Ave and 9th St. The house fronts on East Railroad Ave. Staff analyzed the proposed project for compatibility with the Design Guidelines for the Boca Grande Historic District.

STAFF ANALYSIS

The subject house is on a large lot roughly 100 ft by 100-ft – with roughly 100-ft frontage on E. Railroad Ave. The house is irregularly shaped and built at an angle from the property lines. The existing house is a roughly 2,600 sq ft with the front elevation facing E. Railroad Ave. It is a ranch style house and as such features a broad façade with an emphasis on horizontal lines. The house is roughly 12-ft high from grade to roof peak. The roof consists of a series of low pitch intersecting gable roofs with barrel clay tiles.

The proposed addition at the rear (south east) of the house has a setback tapering roughly 26-ft to 38-ft from the property line along 9th St. The small, square shaped proposed addition houses a new kitchen; the existing kitchen is converted into a butler's pantry. The proposed addition is roughly 17-ft by 15 ½ ft or 265 sq ft of air conditioned space and mirrors the design elements of the main house. It is relatively low in height – roughly 11-ft from grade to roof peak. Its roof is a low pitch, rear facing gable roof with barrel clay tiles – to match the existing house. The wall material is textured masonry finish to match that of the existing house. On the north (side) and rear (east) elevation it features small casement windows and on the south (side) a single door.

Overall staff believes this is a well thought out project and is in keeping with the design guidelines of the Boca Grande Historic District.

Design Guidelines for the Boca Grande Historic District.

In evaluating the project also refer to the discussion above.

1.0 Streetscape

1.1 Building heights should be similar to the range of heights already found in the district and on the particular block of the subject structure.

The building is in keeping with the range of heights already found in the district. The house is low roughly 12-ft from grade to roof peak and the addition is even lower – roughly 11 -ft from grade to roof peak. The main roofs of both the existing house and the addition are gable roofs with barrel clay tiles.

1.2 The pattern of spaces between buildings should be maintained. Additions to existing buildings should be set back from the front façade so the visual quality of spacing is preserved. Maintain traditional pattern setbacks, entrances and alignment of facades. Maintain traditional yard spaces and sense of openness, especially at the front and sides of buildings.

Because house is built at an angle, the proposed addition has a tapering setback roughly 26-ft to 38-ft from the property line along 9th St.

1.3 Additions should attempt to maintain the overall sense of size of the building.

As described above the addition will be roughly 11 ft high from grade to roof peak while the main house is roughly 12-ft high. Stylistically the addition mirrors the main house so it is in keeping with the mass, scale and size of the main house.

1.4 Buildings at the ends of a block should be similar in height to the buildings, or provide a visual transition to the next block. N/A

1.5 The traditional alignment of horizontal and vertical elements of buildings along a block should be maintained. The alignment of first and second story windows should respect traditional patterns of the block.

This house is a contemporary ranch house which has kept the traditional alignment of horizontal and vertical elements.

1.6 Maintain the traditional proportions of glass in building facades.

The proposal calls windows and doors compatible with the style as those in the existing house.

1.7 Maintain the traditional alignment between rooflines, porch protrusions and entrances.

The proposal maintains the traditional alignment between rooflines, porches and entrances. It is a small wing added to the rear elevation by an existing courtyard.

2.0 Building Site

2.1 Identify, retain and preserve features that are important in defining the overall historical character of the site, including driveways, walkways, lighting, fencing, signage, benches, fountains, terraces, water features, vegetation and potential archaeological features.

This is a large parcel whose main feature is a sense of openness. While the existing house has a broad façade, its mass, scale and height are such that it visually blends in with the surroundings. The proposed addition is in keeping with the mass, scale and height of the existing house.

2.2 Maintain the traditional orientation patterns of building facades to the street or water. The front of the building should present a façade that is parallel to the street on which it faces. N/A

2.3 The vertical and horizontal proportions of building mass should be maintained. Additions should preserve or maintain the traditional symmetry of the buildings front façade.

The vertical and horizontal proportions of the building mass are maintained.

2.4 Maintain traditional setback patterns. Porches, decks, solid fences or other additions should be located to respect traditional patterns or visually preserve the traditional front setback. Additions or screened service areas should be located to the side or rear of the front setback.

Because house is built at an angle, the proposed addition is setback roughly 26-ft to 38-ft from the property line along 9th St.

2.5 Alleys, where part of the historical plat, should be used to provide access to the rear of properties for parking and service. Parking and access to parking should relate to alley systems, where present, and should be limited to the rear of structures where this pattern is traditional. N/A

2.6 Accessory buildings such as garages or carports should be located according to the traditional development patterns of such buildings and should relate to the existing building on

the site. Service areas and trash containers should be screened from view using fences, lattice screens or hedges. N/A

2.7 Decks should be as unobtrusive as possible. Railing should express a line and spacing similar to existing balustrades. The duplication of historic styles such as widow's walks should be encouraged only where this type of architecture was traditionally found. N/A

2.8 Paving materials and patterns should respect traditional patterns on the block. N/A

2.9 Landscaping should respect traditional planting patterns and maintain the alignment, spacing, and type where possible. N/A

3.0 Additions to Existing Buildings

3.1 Additions should be compatible with the size, scale, color, material and character of the building and its environment. Additions may include porches and bay windows as well as entire wings and rooms.

The addition is compatible with the size, scale and character of the building and the environment. The addition is slightly lower than the existing house and is behind the existing house. In this manner the addition complements the existing house and also maintains the sense of openness of the house.

3.2 Additions should be positioned so they do not alter the historic rhythm of building fronts.

The addition is in keeping with the rambling pattern of the existing house; it mirrors the existing pattern of low roof lines, strong horizontal elements and secondary gable roofs.

4.0 New Construction

4.1 Contemporary styles should be harmonious in form, material, and scale with the character of the block or district. N/A

4.2 Align the façade of the building with the historic setbacks of the block or district. N/A

4.3 New buildings should appear similar in mass and scale with historic structures in the block or surrounding area. N/A

4.4 Building and roof forms should match those used historically. N/A

4.5 Use similar building materials to those used historically for all major surfaces. N/A

4.6 Use window sizes and proportions similar to those used historically. To create larger surfaces of glass, consider combining several standard windows in a row. N/A

5.0 Relocating Buildings in a Historic District

5.1 Relocate the structure in a context similar to its historic location, if relocating a historic building. N/A

5.2 Align the building within the historic patterns of setbacks and open space ratios. N/A

5.3 Orient the building according to the traditional pattern of the block or district. N/A

STAFF RECOMMENDATION:

Staff recommends that the Boca Grande Historic Preservation Board:

- Approve the project as presented by the applicant.
- Make a finding that the proposed project has been designated under Chapter 22 of the Land Development Code and on the basis of staff analysis, the project is in compliance with Chapter 22, and the design guidelines of the Boca Grande Historic District.



Location of the proposed addition by the Southeast corner of the house.



Location of the proposed addition by the Southeast corner of the house.



Existing rear courtyard.



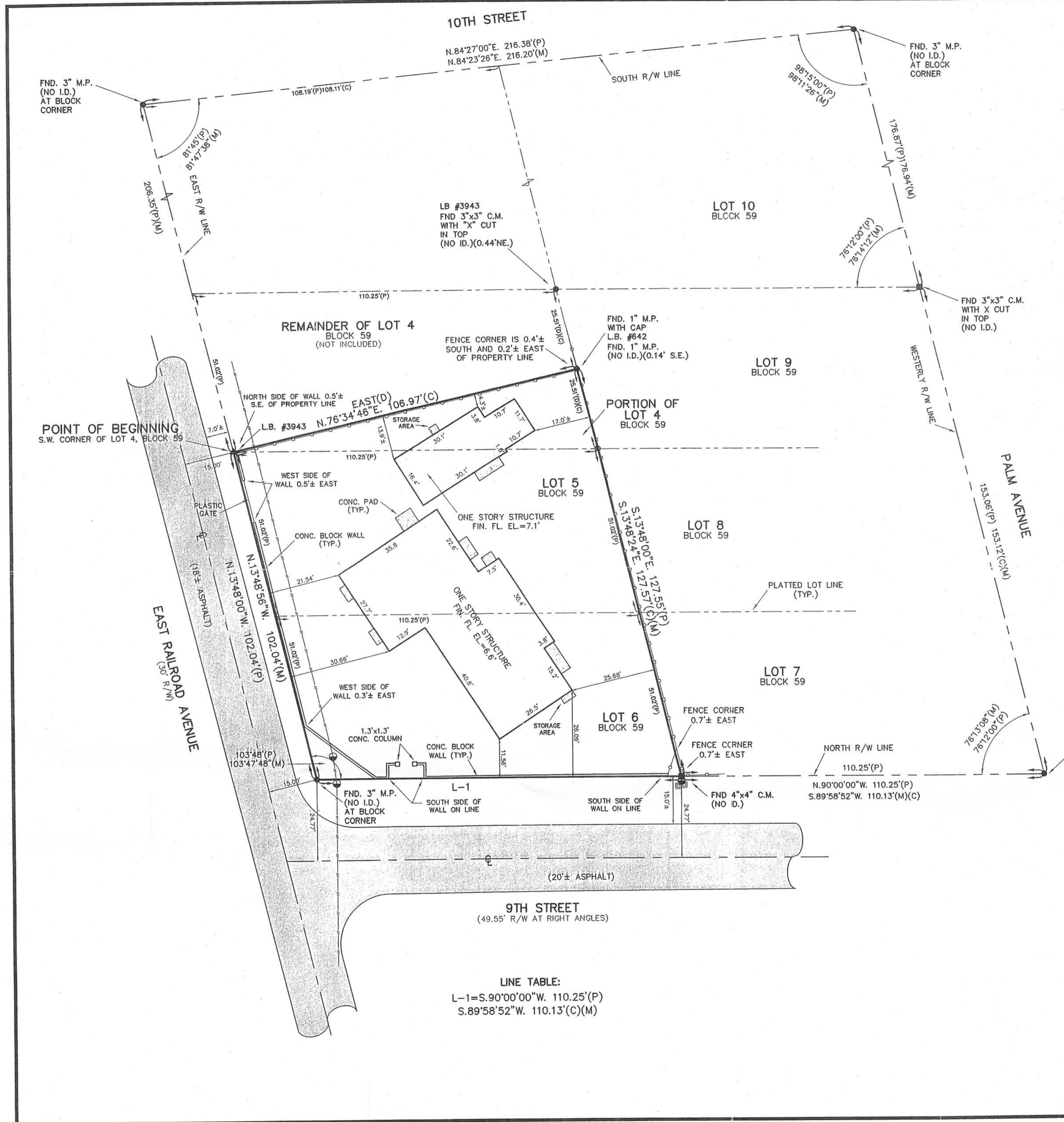
Existing rear courtyard looking toward the area of the proposed addition.



View along 9th St.



Adjoining property owner to the East along 9th St.

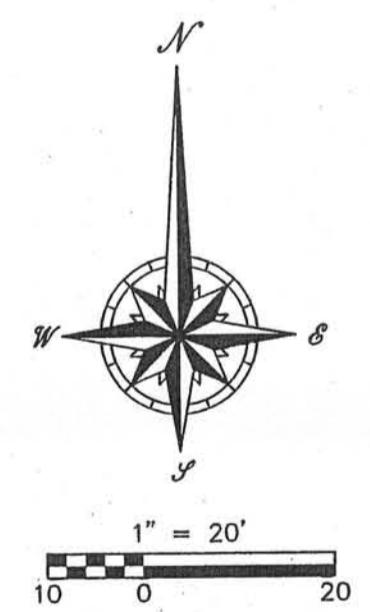


LINE TABLE:
 L-1=S.90°00'00"W. 110.25'(P)
 S.89°58'52"W. 110.13'(C)(M)

DESCRIPTION:
 LOTS 5 AND 6, IN BLOCK 59, REVISED PLAT OF BOCA GRANDE, RECORDED IN PLAT BOOK 7, PAGES 1 AND 1A, RECORDS OF LEE COUNTY, FLORIDA, FILED DECEMBER 10, 1925. TOGETHER WITH: BEGINNING AT THE SW CORNER OF LOT 4, BLOCK 59, REVISED PLAT OF BOCA GRANDE, THE SAME AS FILED AND RECORDED IN THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, IN PLAT BOOK 7, AT PAGE 1, ADJACENT TO EAST AVENUE; THENCE EAST TO THE MID-POINT AT THE REAR OF SAID LOT 4, SUCH POINT BEING 25.51 FEET NORTH OF THE SE CORNER OF SAID LOT 4, AND SOUTH ALONG THE REAR LOT LINE OF SAID LOT 4 TO THE SE CORNER OF SAID LOT 4; THENCE NORTHWESTERLY TO THE POINT OF BEGINNING THE SAME CONSTITUTING A TRIANGULAR PARCEL.

- SURVEYOR'S NOTATIONS:**
- FLOOD ZONE: A-10, (EL.=9'). PER FLOOD INSURANCE RATE MAP, COMMUNITY NO. 125124, PANEL No. 0013B. REVISED DATE 09/19/84.
 - ELEVATIONS ARE BASED ON N.G.V.D. 1929.
 - BASE B.M.: SPIKE NAIL IN UTIL. POLE AT THE SOUTH R/W OF NINTH STREET, 15'± EAST OF THE WEST LOT LINE OF LOT 3, BLOCK 60, EXTENDED, BEING 6.25'.
 - BEARINGS ARE BASED ON ASSUMED DATA AS REFERENCED TO THE NORTHERLY R/W LINE OF 9th STREET, BEING S.90°00'00"W.
 - THERE ARE NO EASEMENTS ON THE SUBJECT PARCEL PER THE RECORD PLAT.

PREPARED FOR THE EXCLUSIVE USE OF:
 NINA COIN;
 CHICAGO TITLE INSURANCE COMPANY;
 MCKINLEY, ITERSAGEN, GUNDERSON, BERTNSSON & WIDEIKIS, P.A.

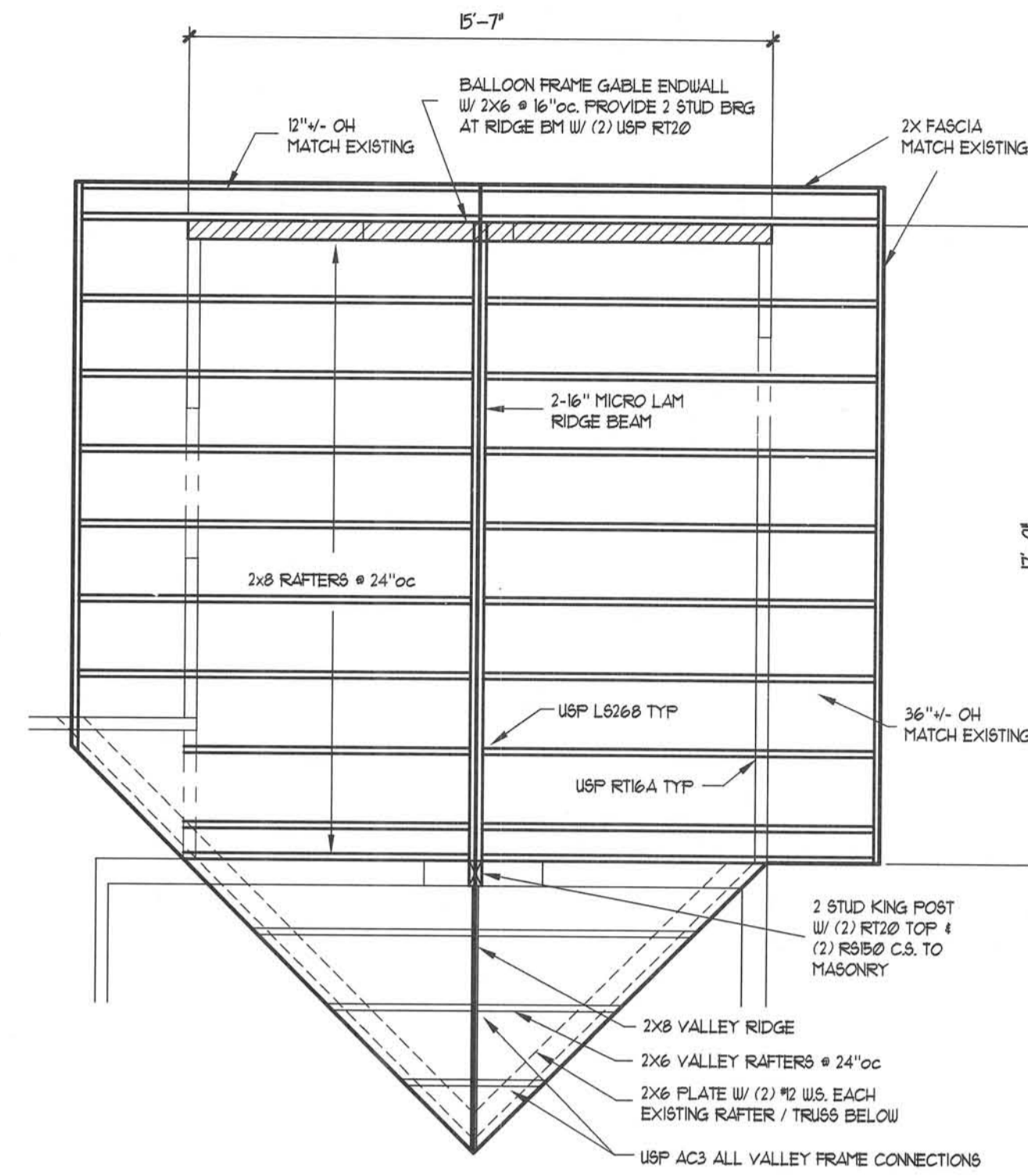


DMK ASSOCIATES, INC. 4315 S. ACCESS ROAD TAMPA, FLORIDA 33611 TEL: (813) 475-8586 FAX: (813) 474-5060	
Date: 04/29/08	Field Book: 08-03
Drawn By: JRM	Scale: NOTED
Checked By: JRM	Proj. No.: 08-0110
Page: 3-6	Page: 3-6
Field Book: 08-03	Page: 25-28
03-03	08-03
04/29/08	08-03
Revision	Drawn By/Checked By
Boundary	JRM
Update	JRM
08-0110	
08-0110	

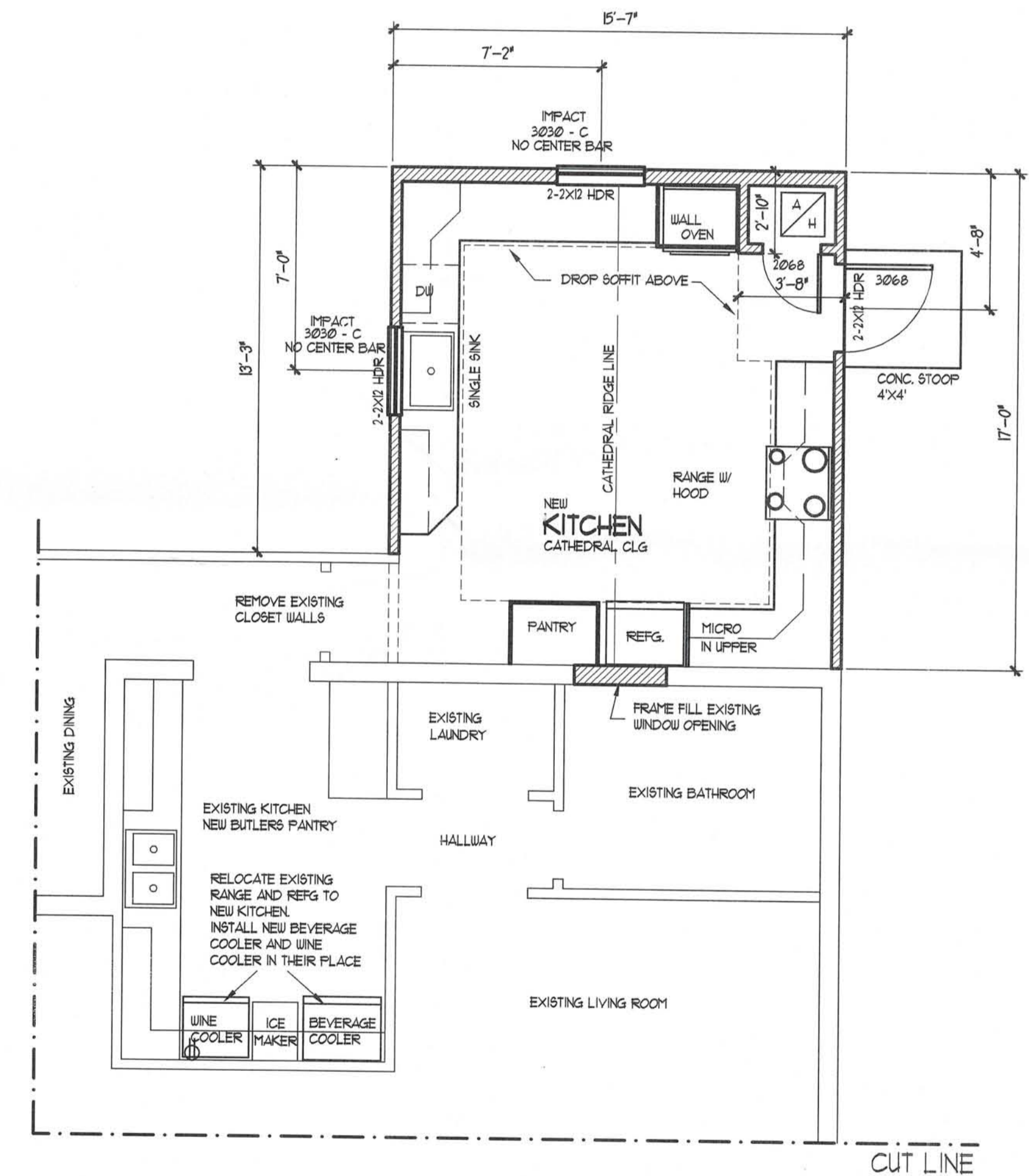
SURVEYOR'S CERTIFICATE:
 This sketch of survey represents the results of a field survey prepared under my direction, is true and correct to the best of my knowledge and belief and has only been prepared to comply with Minimum Technical Standards effective the date of this survey as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 61G17-6, Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes. Subject to all notes and notations shown hereon.
 DMK ASSOCIATES, INC.
 04/29/08
 DATE OF FIELD SURVEY
 05/01/08
 DATE OF SIGNATURE
 BY: *[Signature]*
 JEROME R. McLEOD
 Professional Surveyor and Mapper
 Florida Licensed No. 5825
 Land Surveying Business No. 3943
 File No. 08-0110

GENERAL NOTES

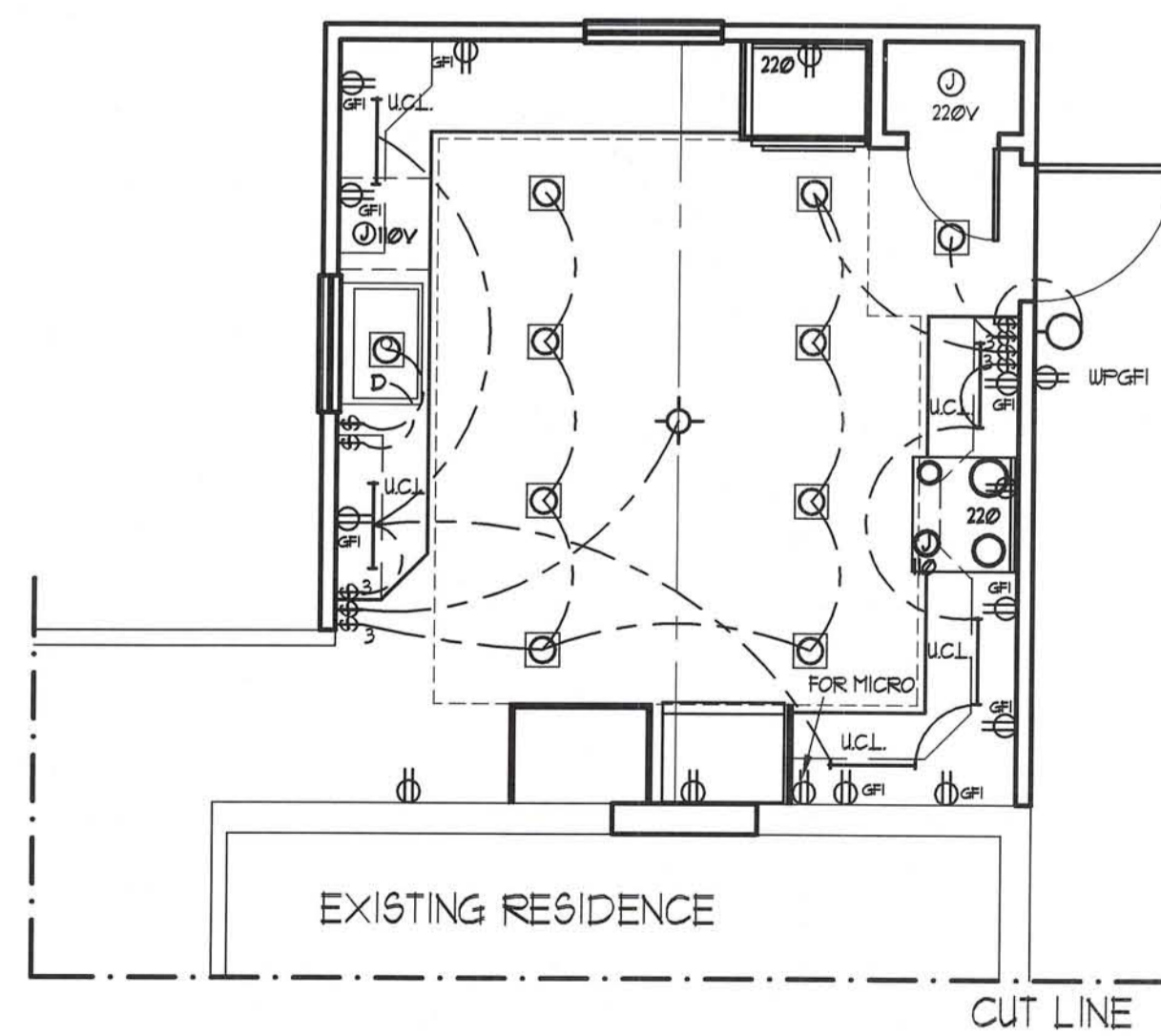
- ROOF DESIGN LIVE LOAD ---20 P.S.F.
WIND BORNE DEBRIS REGION ALL GLAZING TO BE IMPACT OR PROTECTED WITH SHUTTERS
BASIC WIND SPEED DESIGN ---130 M.P.H.
BUILDING CATEGORY II, IMPORTANCE FACTOR = 1, EXPOSURE 'B'
ENCLOSED STRUCTURE, INTERNAL PRESSURE DESIGN PER A.S.C.E. 7-02, q=25.7 P.S.F.
INTERNAL PRESSURE COEFFICIENT = +/- .18
DESIGN PRESSURES FOR WINDOWS + DOORS
WINDOWS ---+30.4 ---33.0
EXT DOORS ---+29.0 ---30.6 P.S.F.
12' O/H GARAGE DOORS ---+25.9 ---28.9
ROOF TRUSS + GIRDER UPLIFTS PER APPROVED MFGR'S DRAWINGS
- EXTERIOR WALL SEGMENTS SHOWN SHADED ARE SHEAR WALL SEGMENTS CONSIDERED.
- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL OR CLEAN FILL COMPACTED TO 95% STANDARD PROCTOR.
- DESIGN SOIL PRESSURE ---2,000 P.S.F.
- ALL CONCRETE SHALL ACHIEVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. * 28 DAYS (2,500 P.S.I. FOR SLABS) UNLESS NOTED OTHERWISE ON PLANS OR DETAILS MORTAR SHALL BE TYPE 'M' OR 'S'
- REINFORCING STEEL TO BE ASTM A-615 GR 40, UNLESS NOTED OTHERWISE.
- PLACE ALL CONCRETE AND REINFORCING IN ACCORDANCE WITH THE LATEST ACI CODE OF STANDARD PRACTICE.
- ALL FRAMING LUMBER SHALL BE DOUG-FIR S-P-F, OR S. PINE, -GRADE 2 OR BETTER W/ E 21000 P.S.I. (BEARING HEADERS + EXTERIOR WALL FRG ONLY)
- MICROLAM BEAMS SHALL BE AS MANUFACTURED BY 'TRUSS JOIST' OR APPROVED EQUAL: E > 2800 P.S.I., E > 2,000,000 P.S.I.
- MINIMUM PRE-FABRICATED TRUSS DESIGN LOADS TO BE:
TOP CHORD LIVE LOAD --- 30 P.S.F.
TOP CHORD DEAD LOAD --- 15 P.S.F.
BOTTOM CHORD --- 10 P.S.F.
TOTAL --- 55 P.S.F.
- UNLESS NOTED OTHERWISE ON THESE PLANS - ROOF UPLIFT DESIGN LOADS SHALL BE AS NOTED ON APPROVED TRUSS MFGR'S DRAWINGS, ROOF TRUSS AND GIRDER ANCHORS TO BE IN ACCORDANCE W/ THE FOLLOWING SCHEDULE, USE PRODUCTS OF 'USP' INSTALL IN ACCORDANCE W/ MFGR'S SPECIFICATIONS THE FOLLOWING TYPES:
UNLESS NOTED OTHERWISE ON PLAN
FRAME: RT16 8-8d x 1 1/2" 1030 LBS
- ROOFING MATERIAL + FASTENING TO BE IN ACCORDANCE W/ MFGR'S SPECIFICATIONS (CONTRACTOR TO SUPPLY)
- LOAD BEARING HEADER STUD REQUIREMENTS:
FOR SPANS TO 6'-0" USE ONE HEADER STUD WITH 2 FULL LENGTH STUDS
FOR SPANS GREATER THAN 6'-0" USE 2 HEADER STUDS WITH 3 FULL LENGTH STUDS
FOR UPLIFT REQ'S STUD TO SLAB/FOUNDATION:
USE 'USP' LT520 FOR LOADS LESS THAN 1910 LBS. W/ 10-16d
USE 'USP' HT116 FOR LOADS LESS THAN 4290 LBS. W/ 18-16d
- UNLESS SPECIFIED BY MFGR, FASTENING TO BE:
SLIDING GLASS + EXTERIOR DOORS
WINDOWS- #12 WOOD SCREWS, 6" MAX FROM CORNERS + 24" O.C. MAX
- WINDOWS BY: PGT
EXTERIOR DOORS BY: THERMA-TRU
GARAGE DOORS BY: CLOPAY OR WINDSOR
- EPOXY SET THREADED RODS + REINFORCING SHALL BE SET WITH 'SIMPSON ET' IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR FULL DEVELOPMENT BASED UPON ALLOWABLE STEEL STRENGTH
- TERMITE PROTECTION TO BE COMPLIANT WITH 2004 FBC - SOIL PROTECT- TO EXTEND 12' BEYOND EXTERIOR WALLS OF STRUCTURE.
- ALL CONDENSATE LINES AND ROOF DOWNSPOUTS SHALL DISCHARGE MIN. 12' AWAY FROM STRUCTURE SIDEWALL USING UNDERGROUND PIPING, TAIL EXTENSIONS OR SPLASH BLOCKS



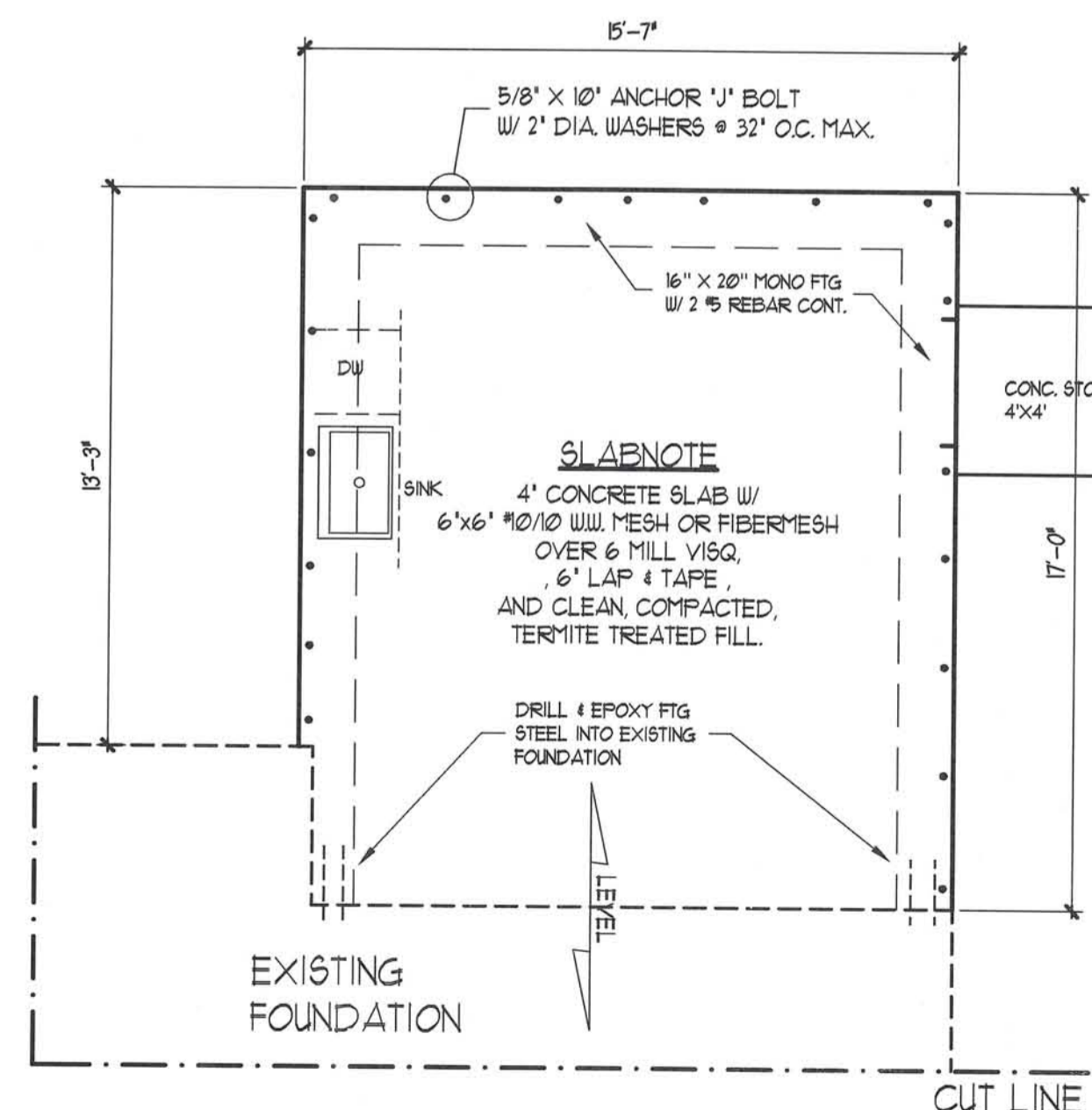
ROOF FRAMING
SCALE = 1/4"=1'-0"



FLOOR PLAN
SCALE = 1/4"=1'-0"



ELECTRICAL PLAN
SCALE = 1/4"=1'-0"



FOUNDATION PLAN
SCALE = 1/4"=1'-0"

NOTE:
CONTRACTORS AND/OR OWNER TO FIELD VERIFY ALL NEW & EXISTING DIMENSIONS AND DETAILS.

J. SCOTT DRAFTING, INC.
3870 S. ACCESS RD., UNIT 11
MURFREESBORO, TN 37132
OFFICE: (845) 472-3100
E-MAIL: JSCOTT@SCOTTDRAFTING.COM

BUILT BY:

A KITCHEN ADDITION FOR:
MR. & MRS. COIN

DATE DRAWN
JAN 27, 2012

DRAWN BY
J. SCOTT

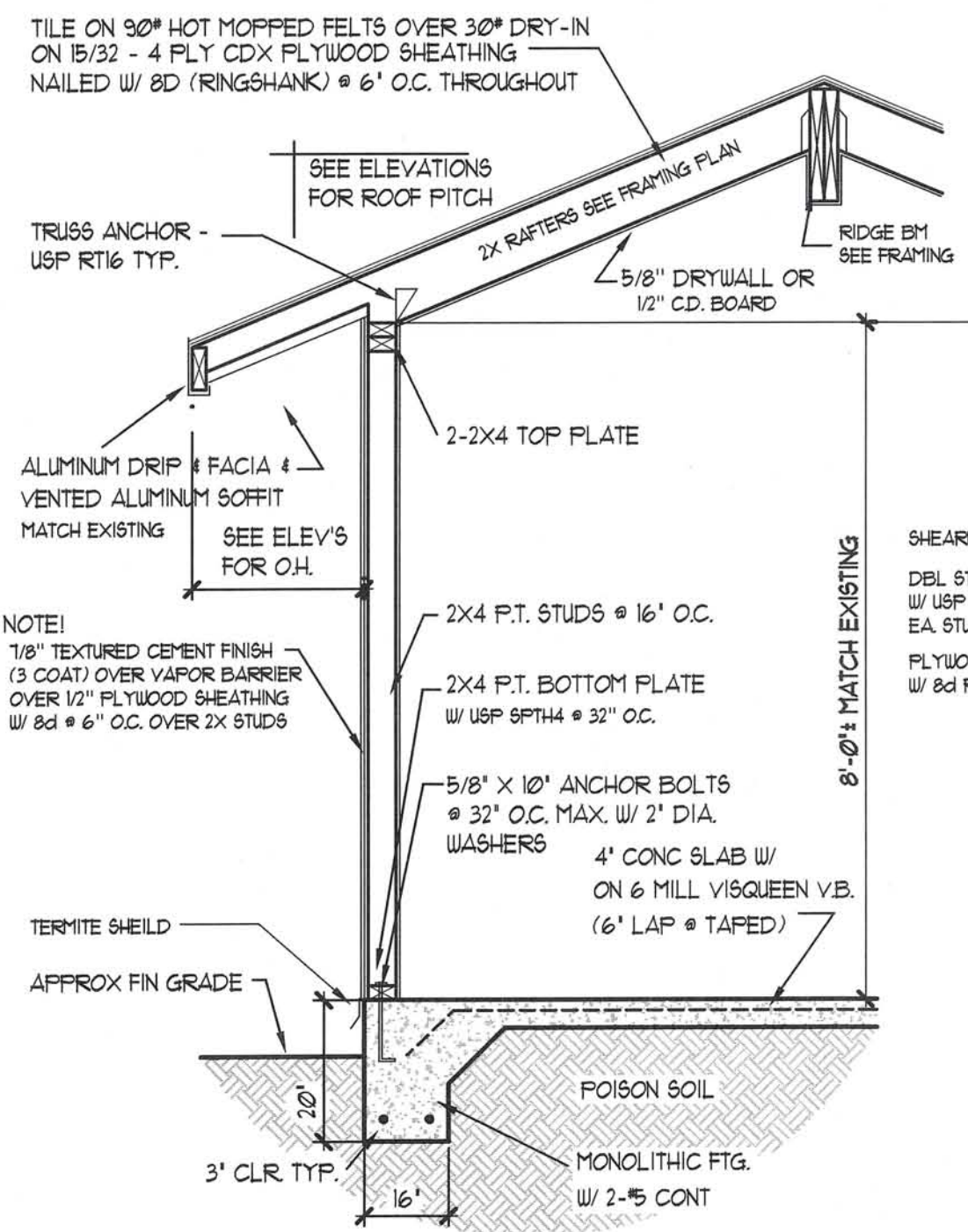
DATE REVISED

SHEET
1 OF 2

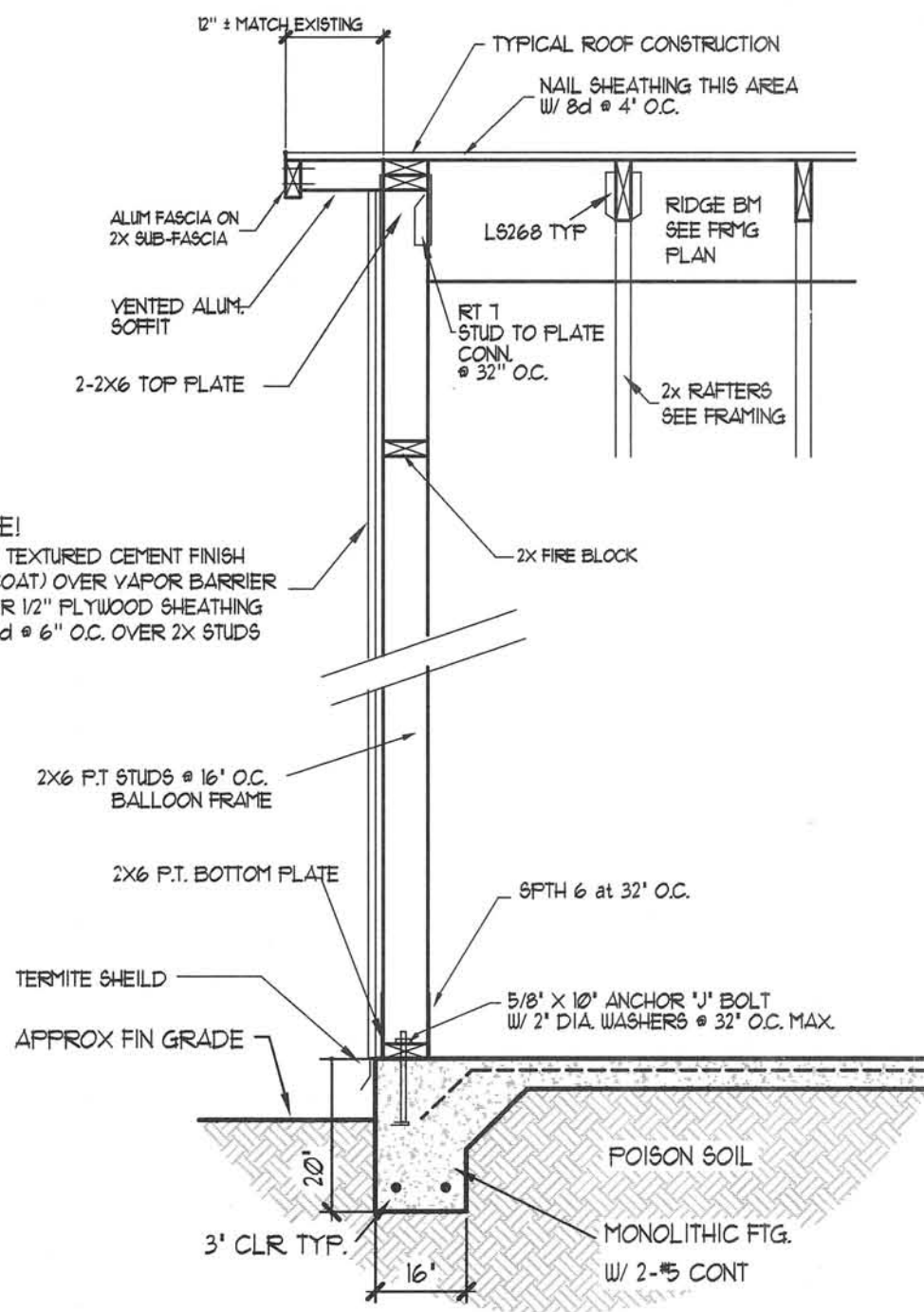
JOB NUMBER
12-009

THE UNDERSIGNED HAS ONLY REVIEWED THESE PLANS FOR THE FOLLOWING:
1. COMPLIANCE WITH SECTION 1609, 2007 REC W/ 2009 REVISIONS, CODE FOR THE 100 MPH WIND ZONE.
2. COMPLIANCE WITH SECTION 1609, 2007 REC W/ 2009 REVISIONS, CODE FOR THE 100 MPH WIND ZONE.
3. STRUCTURAL CALCULATIONS FOR GRAVITY LOADS.
4. IN COMPLIANCE WITH THE LEE COUNTY LAND DEVELOPMENT CODE, CHAPTER 14, ARTICLE II, DIVISION 2, SEA TURTLES, ALSO CHAPTER 6, ARTICLE III, CONSTRUCTION CODE, AND ARTICLE IV, FLOOD HAZARD REDUCTION.

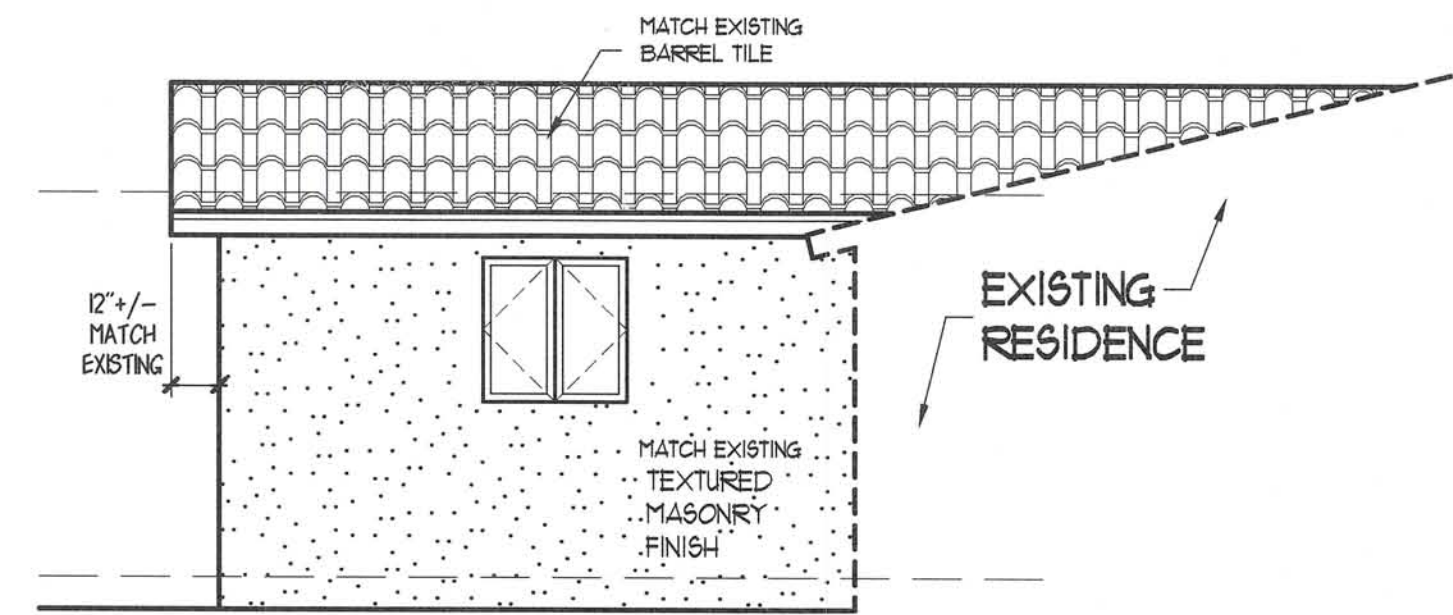
T.A. KREBS, NCARB
(941) 475-1021



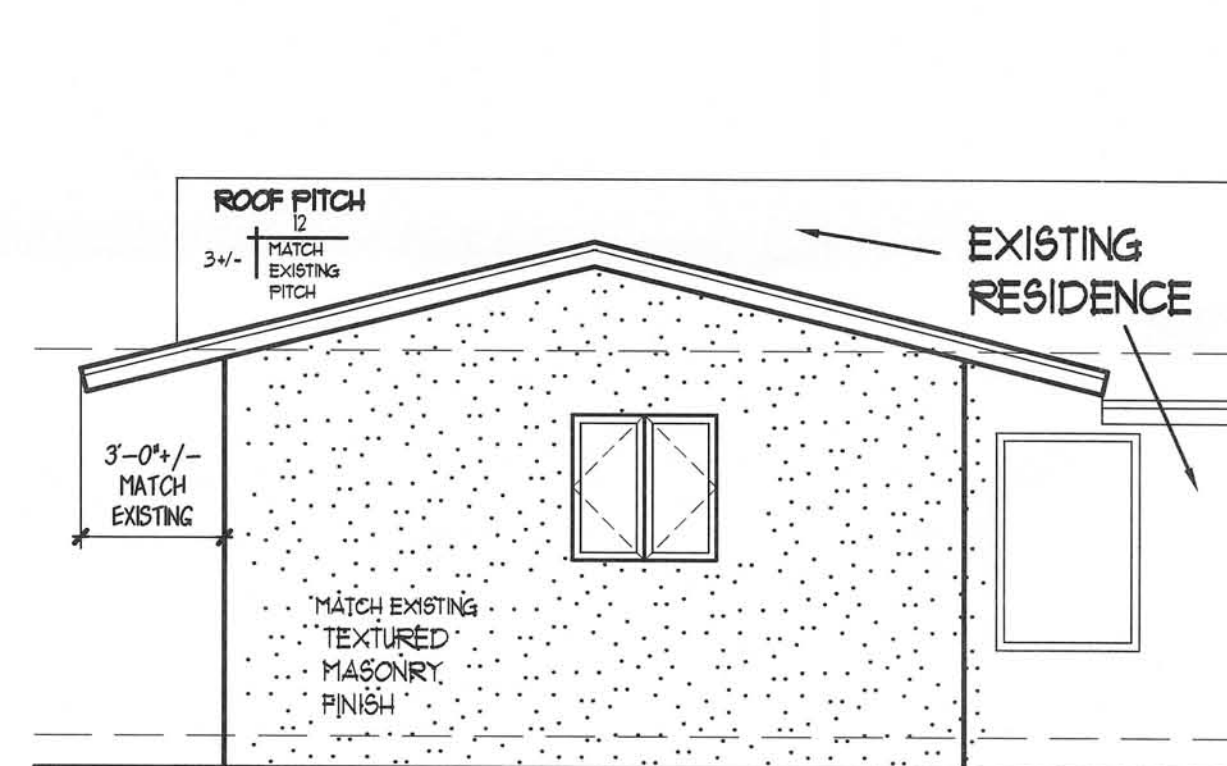
TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"



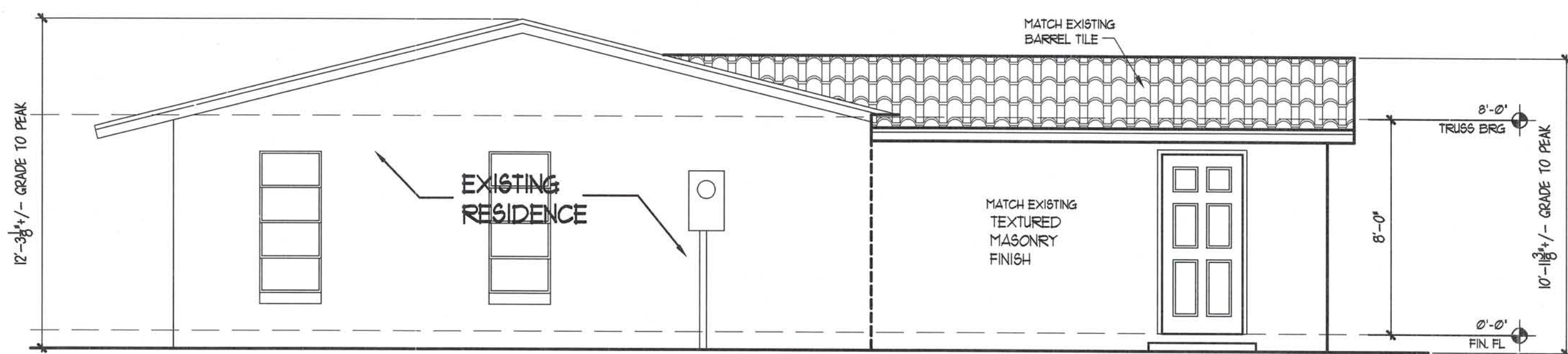
GABLE WALL SECTION
SCALE: 1/2" = 1'-0"



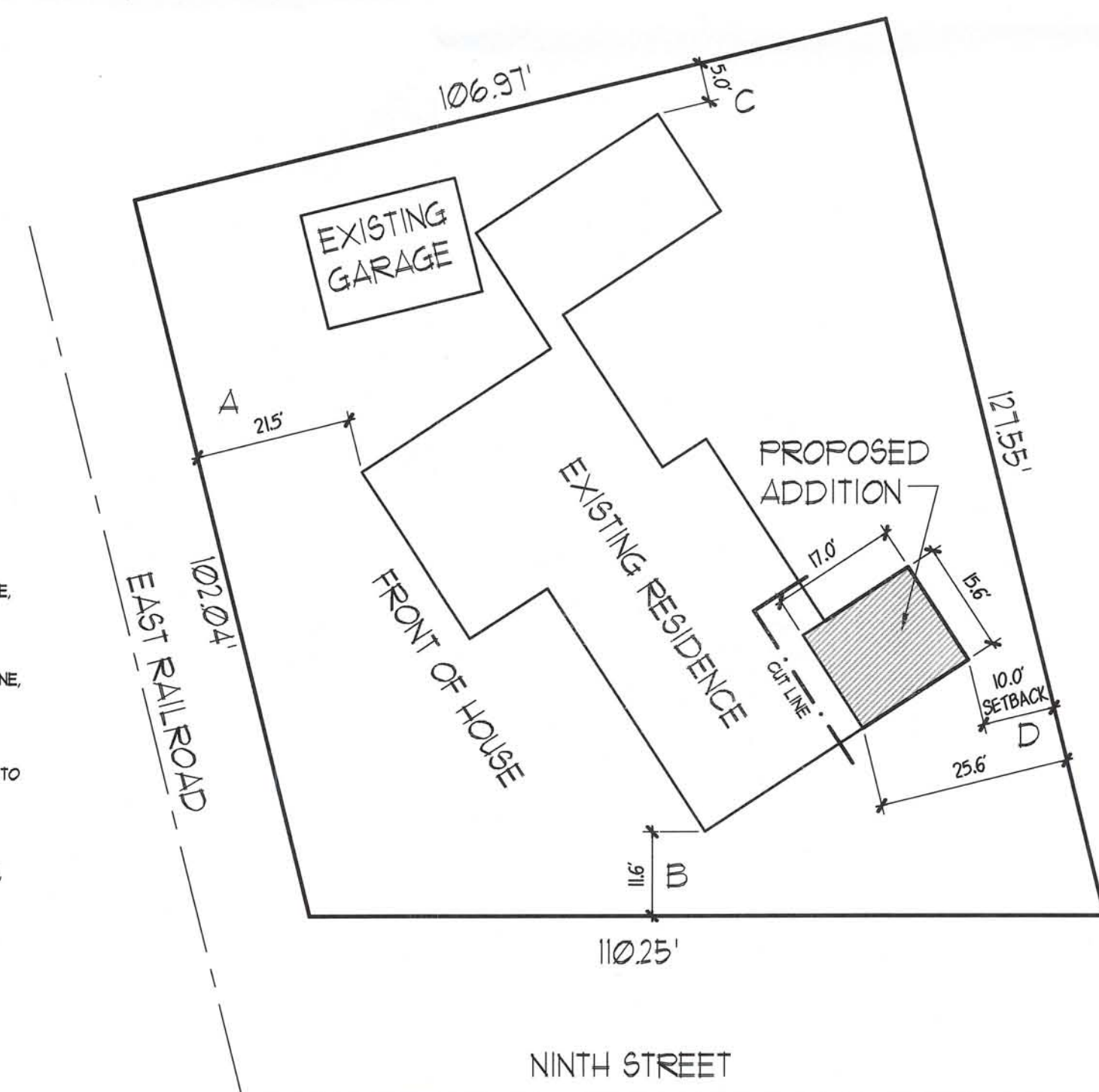
RIGHT SIDE ELEVATION
SCALE = 1/4"=1'-0"



REAR ELEVATION
SCALE = 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE = 1/4"=1'-0"



SITE PLAN
SCALE = 1"=20'

ZONING RELIEF REQUIRED

- (A) RELIEF FROM LDC SECTION 34-75 WHICH REQUIRES THE MINIMUM REQUIRED 5' REAR SETBACK OF 25 FEET ON THE WEST PROPERTY LINE, TO 215' FEET TO BRING EXISTING SINGLE FAMILY RESIDENCE INTO COMPLIANCE
- (B) RELIEF FROM LDC SECTION 34-75 WHICH REQUIRES THE MINIMUM REQUIRED STREET SETBACK OF 25 FEET ON THE SOUTH PROPERTY LINE, TO 116' FEET TO BRING EXISTING SINGLE FAMILY RESIDENCE INTO COMPLIANCE
- (C) RELIEF FROM LDC SECTION 34-75 WHICH REQUIRES THE MINIMUM REQUIRED SIDE SETBACK OF 1 FEET ON THE NORTH PROPERTY LINE, TO 5' FEET TO BRING EXISTING SINGLE FAMILY RESIDENCE INTO COMPLIANCE
- (D) RELIEF FROM LDC SECTION 34-75 WHICH REQUIRES THE MINIMUM REQUIRED REAR SETBACK OF 20 FEET ON THE EAST PROPERTY LINE, TO 10' FEET FOR THE PROPOSED ADDITION

NOTE:
CONTRACTORS AND/OR OWNER
TO FIELD VERIFY ALL NEW & EXISTING
DIMENSIONS AND DETAILS.

**J. SCOTT
DRAFTING, INC.**
2835 WOODCREEK PL. UNIT 224
BOCA RATON, FLORIDA 33434
OFFICE: (561) 428-3100
FAX: (561) 428-3100
E-MAIL: JSCOTT@SCOTTDRIFTING.COM

BUILT BY:

A KITCHEN ADDITION FOR:
MR. & MRS. GOIN

DATE DRAWN
JAN. 27, 2012

DRAWN BY
J. SCOTT

DATE REVISED

SHEET
2 OF 2

JOB NUMBER
12-009